





**VILLAGE AT SOUTH AUBURN  
 GRASS VALLEY, CA  
 SITE INVENTORY/  
 IMPACT ANALYSIS**



**WETLAND AREA**

- Herb wetland - 24 Acres
- Blackberry scrub - 41 Acres
- Arroyo willow - .14 Acres
- Cottonwood - willow forest - 86 Acres

Total: 165 acres

**OTHER WATERS**

- Channel - 0.02 Acres

**TREE LEGEND**

**TYPE**

- AL ALDER
- CE CEDAR
- CO COTTONWOOD
- CR CRAB APPLE
- HA HAWTHORN
- JU JUNIPER
- LI LIRIODENDRON
- MA MAPLE
- PE PERSIMMON
- PL PLATANUS
- PP PONDEROSA PINE
- WA WALNUT
- WI WILLOW
- DEAD
- OAK

● = SAVED TREE  
 ✕ = REMOVED TREE

**TREE INVENTORY**

TOTAL TREES INVENTORIED	218
SAVED	61
TO BE REMOVED	151

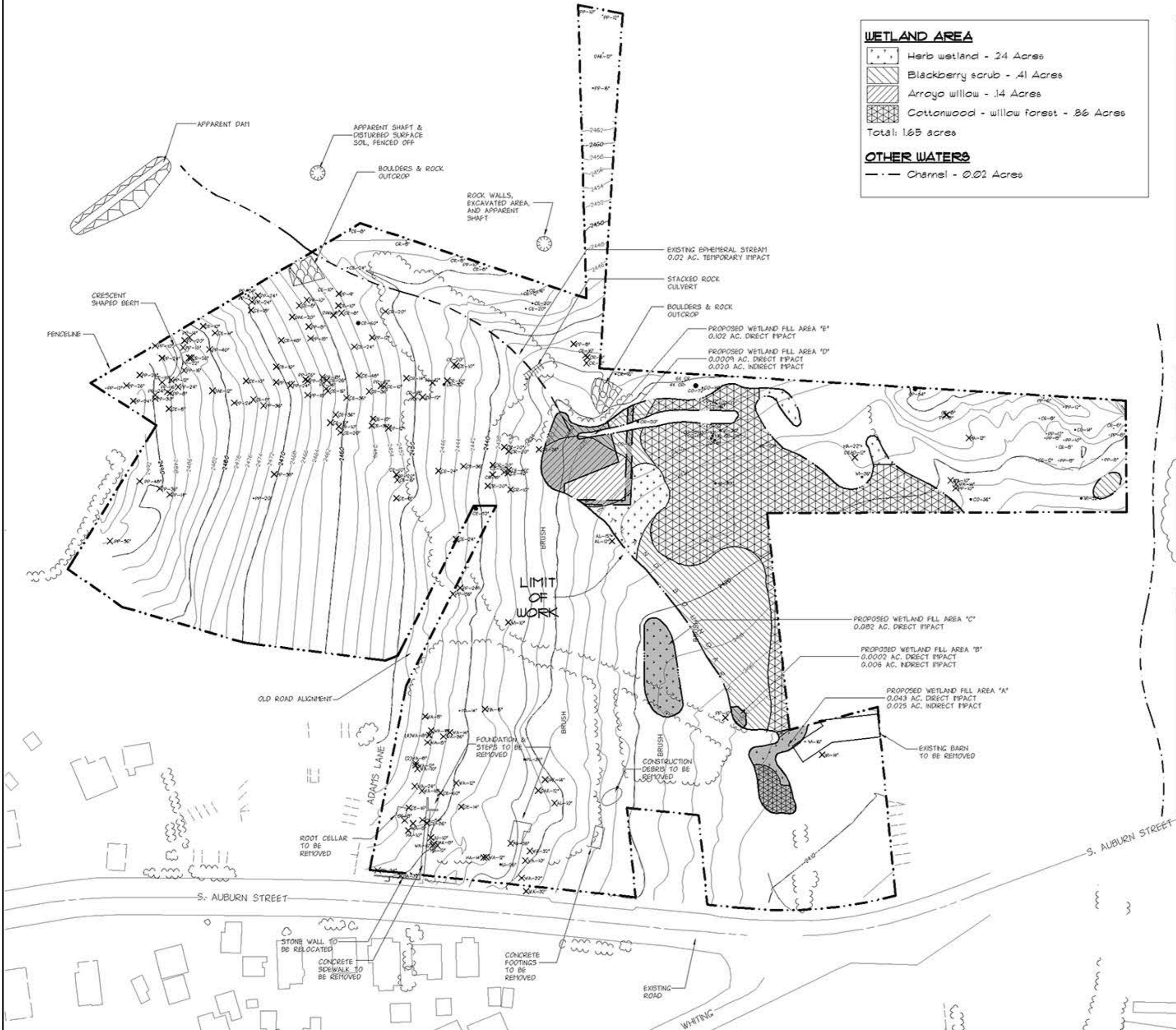
**WETLAND IMPACTS**

TOTAL WETLAND AREA:	167 Acres
DIRECT IMPACTS -	0.23 Acre
INDIRECT IMPACTS -	0.05 Acre
TEMPORARY IMPACTS -	0.02 Acre

- DATA SOURCES**
- VIRGINIA DAINS - Wetland Delineation Report: Village at South Auburn
  - HOLDREDGE & KULL - Preliminary Geotechnical Engineering Report for Village at South Auburn
  - GARCIA & ASSOCIATES - Working Draft: Cultural Resources Inventory for Grass Development Project
  - GARCIA & ASSOCIATES - Biological Inventory and Impact Analysis: Village at South Auburn
  - BISNETT DESIGN ASSOCIATES - LICENSE LANDSCAPE ARCHITECT C-2984 Existing Grades, Site Inventory & Property Lines
  - CRANMER ENGINEERING - LICENSE CIVIL ENGINEER CE - 13309 Existing Grades & Property Lines

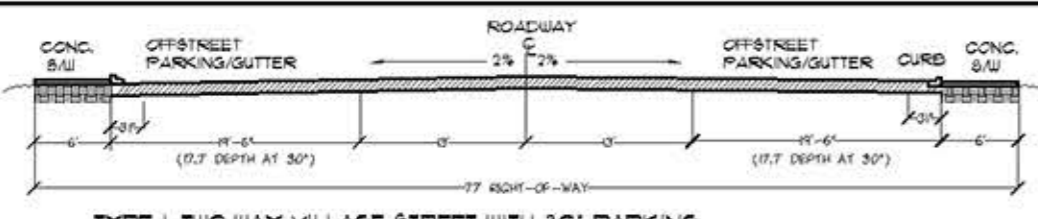
**NOTE BOX:**

For specific information regarding existing plant communities see: Wetland Delineation Report, Village at South Auburn, by Virginia Dains; February 2002.  
 Biological Inventory and Impact Analysis for the Village at South Auburn, by Garcia and Associates (GANDA); May 14, 2002.

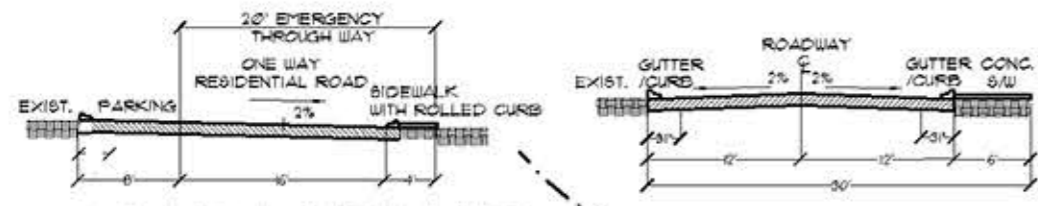






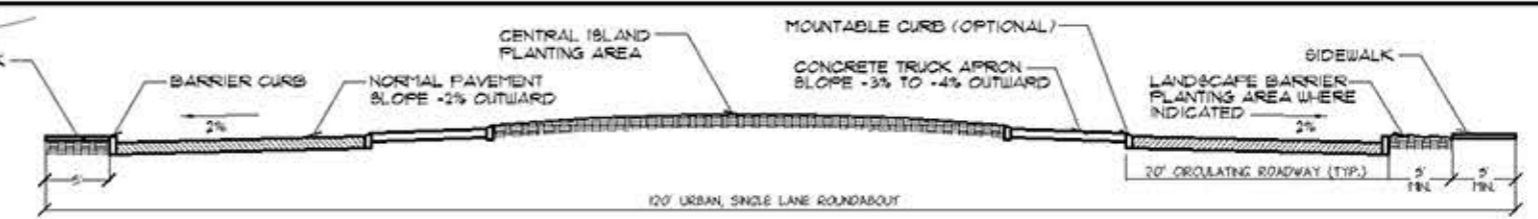


**TYPE I. TWO WAY VILLAGE STREET WITH 30' PARKING**  
(SEE SITE PLAN, SHT. L-3 FOR ROAD LAYOUT)



**TYPE II. ONE WAY RESIDENTIAL ROAD WITH PARALLEL PARKING**  
(SEE SITE PLAN, SHT. L-3 FOR ROAD LAYOUT)

**TYPE III. TWO LANE ENTRY**  
(SEE SITE PLAN, SHT. L-3 FOR ROAD LAYOUT)



**ROUND ABOUT CROSS-SECTION**  
(SEE SITE PLAN, SHT. L-3 FOR ROAD LAYOUT)

**TOPOGRAPHIC INFORMATION**

City of Grass Valley Date: 7/10/97

BDA Survey Date: 2/4/02, 2/5/02

5/8/02-5/10/02

Cronner Engineering Survey Date: 6/3/02, 6/27/02

**NOTE BOX:**

SUBDIVIDER:  
Stephen P. Elder, a married man as his sole and separate property,  
P.O. Box 2177,  
Nevada City, Ca. 95959

POINT DATA PROVIDED BY:  
Cronner Engineering, Inc. CE-13309

BDA Lic: C-2484

**LINE TABLE**

LINE	LENGTH	BEARING
L1	69.24	S66 21'20"W
L2	22.44	S24 45'35"W
L3	68.87	S88 22'11"W
L4	37.60	S05 53'00"W
L5	43.62	S88 22'11"W
L6	25.25	S88 22'11"W
L7	19.70	S24 45'35"W
L8	2.74	S24 45'35"W
L9	56.56	S66 21'20"W
L10	12.68	S66 21'20"W
L11	7.91	S12 38'10"E
L12	28.95	S05 56'56"W
L13	14.90	S27 42'18"W
L14	49.76	S37 41'28"E

**CURVE TABLE**

CURVE	LENGTH	RADIUS
C1	185.66	122.25
C2	125.07	122.25
C3	21.49	100.00
C4	51.11	100.00
C5	111.02	100.00
C6	171.35	470.00
C7	6.94	470.00
C8	164.41	470.00
C9	72.60	100.00
C10	57.05	122.25
C11	76.51	122.25
C12	116.64	122.25
C13	45.02	122.25
C14	15.01	122.25
C15	32.44	100.00
C16	32.44	100.00
C17	43.23	100.00
C18	51.80	151.83
C19	112.54	100.00
C20	171.21	150.00
C21	256.07	105.00
C22	36.33	100.00

**REFERENCES:**

- L-1: For Existing Zoning.
- L-2: For Existing Tree Inventory, Existing Site Structures & Wetland Delineation.
- L-3: For Proposed Site Plan.
- L-4: For Suggested Plant Material Placement and Plant Lots, including Street Trees.
- L-5: Road Cross-Sections.
- L-6: See Photo Key Map.
- L-7: Photometrics Plan.
- C-1: Grading Plan.
- C-4: Stormwater Management Plan.

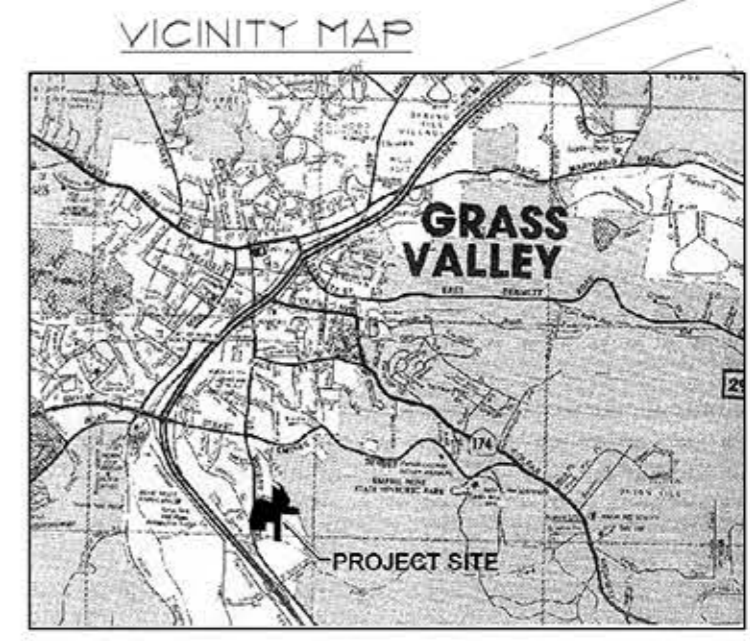
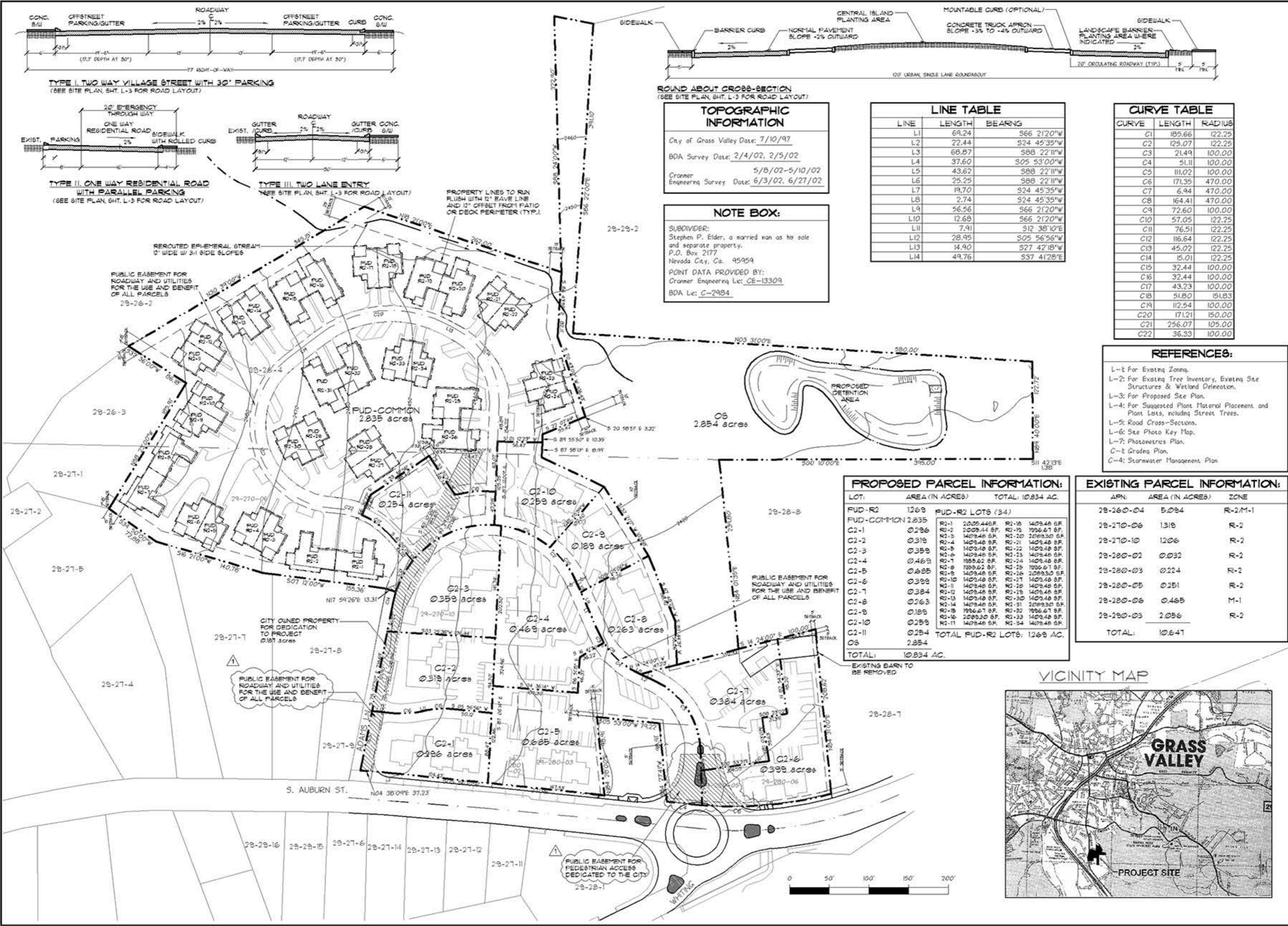
**PROPOSED PARCEL INFORMATION:**

LOT	AREA (IN ACRES)	TOTAL: 10,834 AC.
FUD-R2	1269	
FUD-COMMON	2,835	
C2-1	0.296	
C2-2	0.319	
C2-3	0.359	
C2-4	0.469	
C2-5	0.685	
C2-6	0.399	
C2-7	0.384	
C2-8	0.263	
C2-9	0.189	
C2-10	0.259	
C2-11	0.254	
OS	2,854	
<b>TOTAL:</b>	<b>10,834 AC.</b>	

EXISTING BARN TO BE REMOVED

**EXISTING PARCEL INFORMATION:**

APN	AREA (IN ACRES)	ZONE
29-260-04	5,084	R-2/M-1
29-270-06	1,319	R-2
29-270-10	1,206	R-2
29-280-02	0,032	R-2
29-280-03	0,224	R-2
29-280-05	0,251	R-2
29-280-06	0,485	M-1
29-280-08	2,056	R-2
<b>TOTAL:</b>	<b>10,641</b>	



REVISIONS	BY
1	RLB

**TENTATIVE MAP**  
**VILLAGE AT SOUTH AUBURN GRASS VALLEY, CA**

**bda**  
Bisnett Design Associates  
16046 Bear Court  
Grass Valley, CA 95949  
530.298.9733  
530.298.1657 fax  
bb@bdaeng.com

Date: 03/28/03  
Scale: 1"=50'-0"  
Drawn: RLB  
Job: 312  
Sheet: L-5



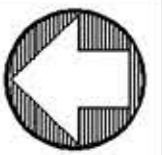


REVISIONS	BY

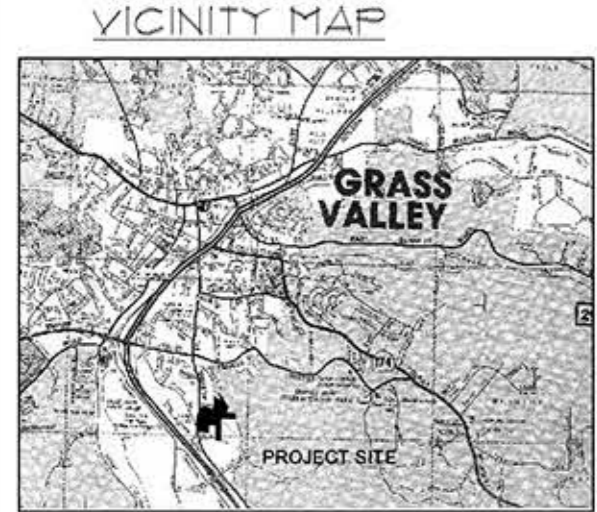
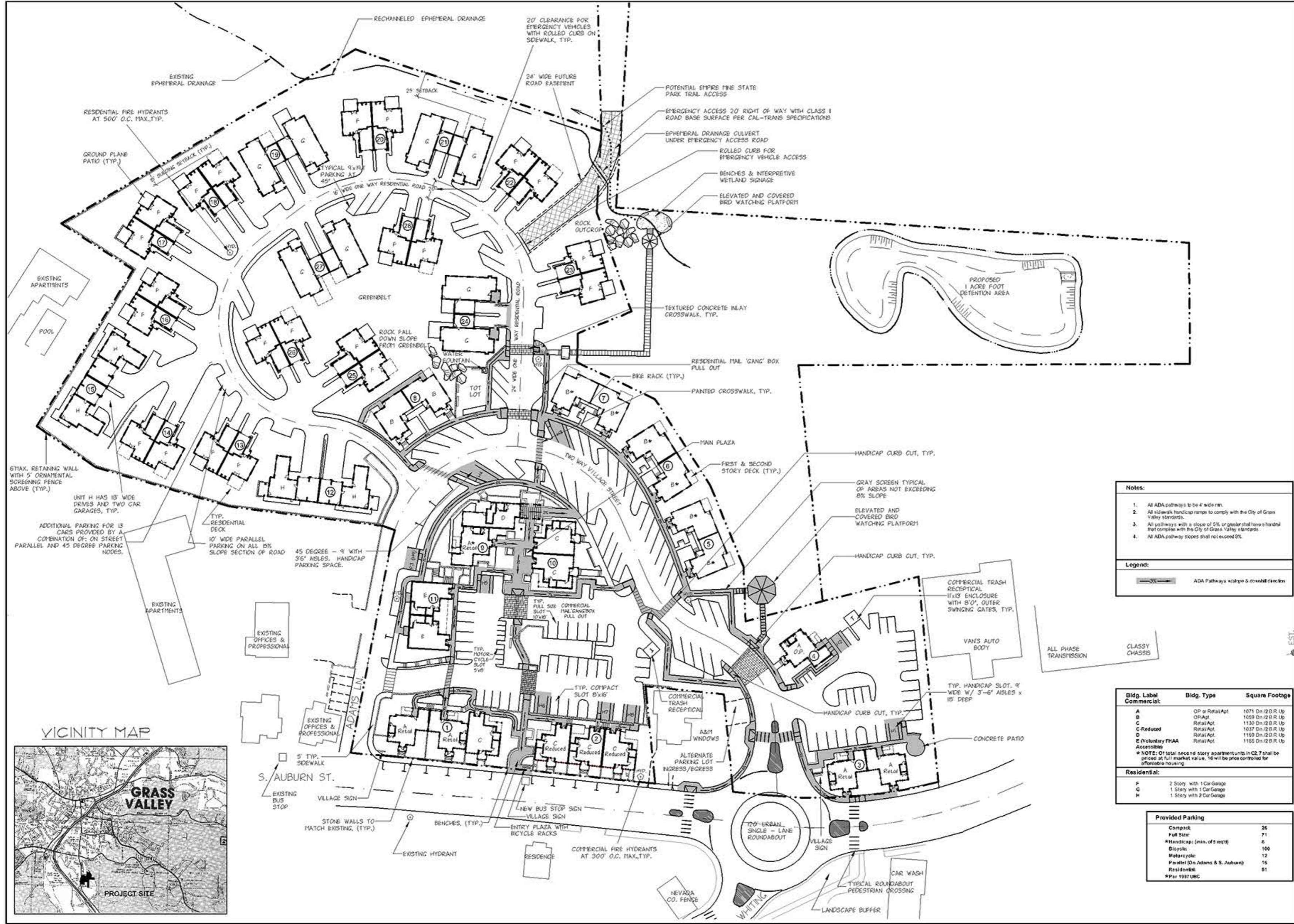


**VILLAGE AT SOUTH AUBURN GRASS VALLEY, CA**  
**ADA ACCESSIBLE ENTRIES & PATHWAYS**

**bda**  
**Bissett Associates**  
 16845 Bear Court  
 Grass Valley, CA 95949  
 530.268.9713  
 530.268.3657 fax  
 dbissett@bda.net



Date: 05/07/03  
 Scale: 1"=40'-0"  
 Drawn: RLB  
 Job: 312  
 Sheet: L-9



- Notes:**
- All ADA pathways to be 4' wide min.
  - All sidewalk handicap ramps to comply with the City of Grass Valley standards.
  - All pathways with a slope of 5% or greater shall have a handrail that complies with the City of Grass Valley standards.
  - All ADA pathway slopes shall not exceed 5%.
- Legend:**
- ADA Pathways sidewalk & downhill direction

Bldg. Label	Bldg. Type	Square Footage
<b>Commercial:</b>		
A	OP or Retail Apt	1071 Dn/2 B.R. Up
B	OP Apt	1059 Dn/2 B.R. Up
C	Retail Apt	1130 Dn/2 B.R. Up
C-Reduced	Retail Apt	1037 Dn/2 B.R. Up
D	Retail Apt	1159 Dn/2 B.R. Up
E (Voluntary FHAA Accessible)	Retail Apt	1155 Dn/2 B.R. Up
* NOTE: Of total second story apartment units in C2, 7 shall be priced at full market value, 16 will be price controlled for affordable housing.		
<b>Residential:</b>		
F	2 Story with 1 Car Garage	
G	1 Story with 1 Car Garage	
H	1 Story with 2 Car Garage	

Provided Parking	
Compact Full Size	26
*Handicap (min. of 5 req'd)	6
Bicycle	100
Motorcycle	12
Parade (On Adams & S. Auburn)	15
Resident	51
*Per 1937 UBC	

REVISIONS	BY



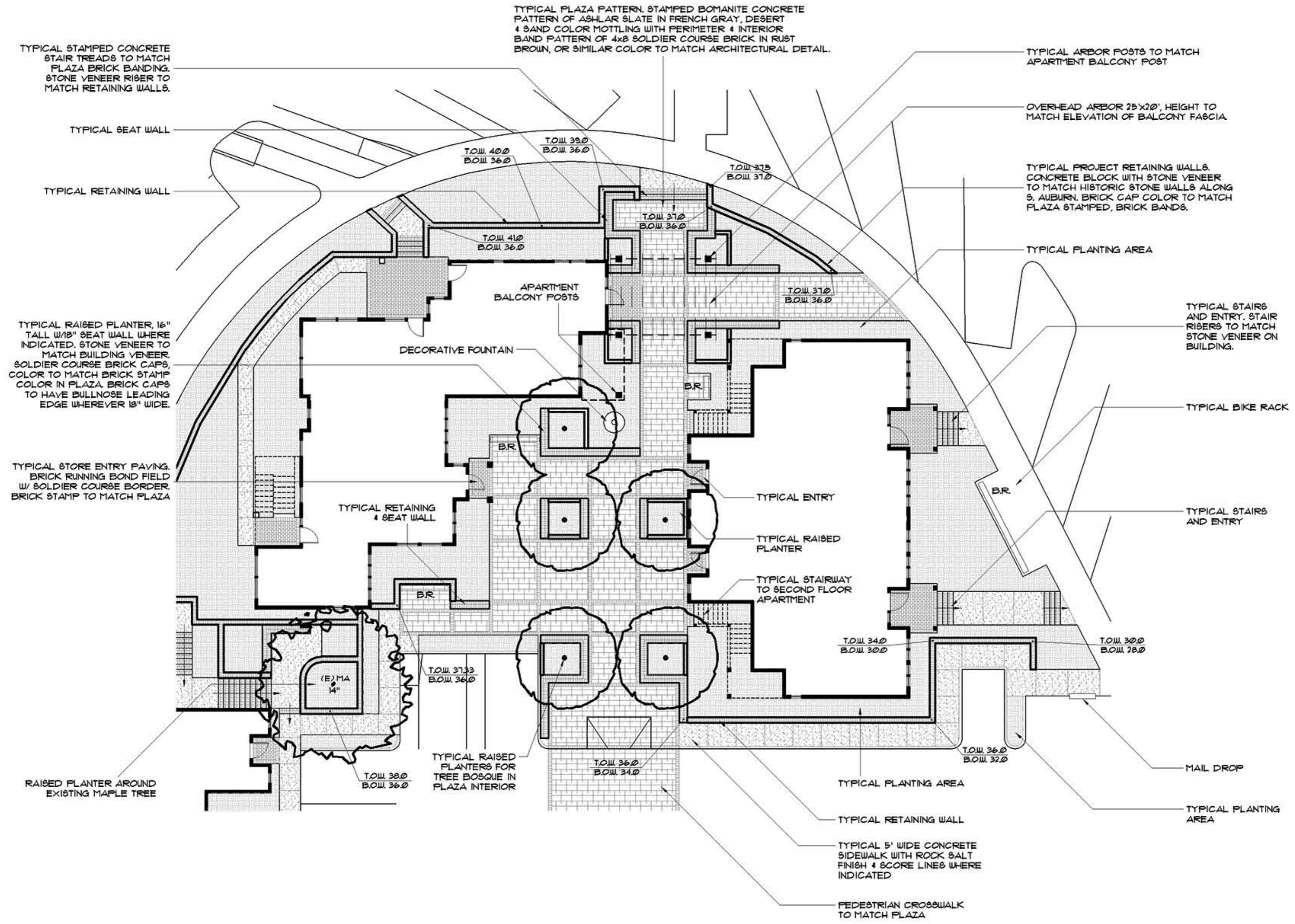
**INTERIOR**  
**VILLAGE PLAZA**

**VILLAGE AT**  
**SOUTH AUBURN**  
**GRASS VALLEY, CA**

**bda**  
 Bisnett  
 Design  
 Associates  
 18899 Bear Court  
 Grass Valley, CA 95949  
 530.268.9733  
 530.268.3657 fax  
 bbisnett@bda.net



Date	05/07/03
Scale	1"=8'-0"
Drawn	RLB
Job	312
Sheet	L-10



TYPICAL PLAZA PATTERN, STAMPED BOMANITE CONCRETE PATTERN OF ASHLAR SLATE IN FRENCH GRAY, DESERT 4 SAND COLOR MOTTLING WITH PERIMETER 4 INTERIOR BAND PATTERN OF 4x8 SOLDIER COURSE BRICK IN RUST BROWN, OR SIMILAR COLOR TO MATCH ARCHITECTURAL DETAIL.

TYPICAL STAMPED CONCRETE STAIR TREADS TO MATCH PLAZA BRICK BANDING. STONE VENEER RISER TO MATCH RETAINING WALLS.

TYPICAL ARBOR POSTS TO MATCH APARTMENT BALCONY POST

OVERHEAD ARBOR 25x20', HEIGHT TO MATCH ELEVATION OF BALCONY FASCIA

TYPICAL PROJECT RETAINING WALLS. CONCRETE BLOCK WITH STONE VENEER TO MATCH HISTORIC STONE WALLS ALONG S. AUBURN. BRICK CAP COLOR TO MATCH PLAZA STAMPED, BRICK BANDS.

TYPICAL PLANTING AREA

TYPICAL STAIRS AND ENTRY. STAIR RISERS TO MATCH STONE VENEER ON BUILDING.

TYPICAL BIKE RACK

TYPICAL STAIRS AND ENTRY

TYPICAL ENTRY

TYPICAL RAISED PLANTER

TYPICAL STAIRWAY TO SECOND FLOOR APARTMENT

T.O.W. 34.0  
B.O.W. 30.0

T.O.W. 30.0  
B.O.W. 28.0

MAIL DROP

TYPICAL PLANTING AREA

TYPICAL RETAINING WALL

TYPICAL 5' WIDE CONCRETE SIDEWALK WITH ROCK SALT FINISH 4 SCORE LINES WHERE INDICATED

PEDESTRIAN CROSSWALK TO MATCH PLAZA

TYPICAL RAISED PLANTERS FOR TREE BOSQUE IN PLAZA INTERIOR

T.O.W. 38.0  
B.O.W. 36.0

T.O.W. 36.0  
B.O.W. 34.0

T.O.W. 36.0  
B.O.W. 32.0

T.O.W. 37.33  
B.O.W. 36.0

TYPICAL RETAINING 4 SEAT WALL

TYPICAL STORE ENTRY PAVING. BRICK RUNNING BOND FIELD W/ SOLDIER COURSE BORDER. BRICK STAMP TO MATCH PLAZA

TYPICAL RAISED PLANTER, 16" TALL W/18" SEAT WALL WHERE INDICATED. STONE VENEER TO MATCH BUILDING VENEER. SOLDIER COURSE BRICK CAPS, COLOR TO MATCH BRICK STAMP COLOR IN PLAZA. BRICK CAPS TO HAVE BULLNOSE LEADING EDGE WHEREVER 18" WIDE.

TYPICAL SEAT WALL

TYPICAL RETAINING WALL

DECORATIVE FOUNTAIN

APARTMENT BALCONY POSTS

T.O.W. 40.0  
B.O.W. 36.0

T.O.W. 39.0  
B.O.W. 36.0

T.O.W. 37.5  
B.O.W. 37.0

T.O.W. 37.0  
B.O.W. 36.0

T.O.W. 37.0  
B.O.W. 36.0

(E) MA  
14"

RAISED PLANTER AROUND EXISTING MAPLE TREE



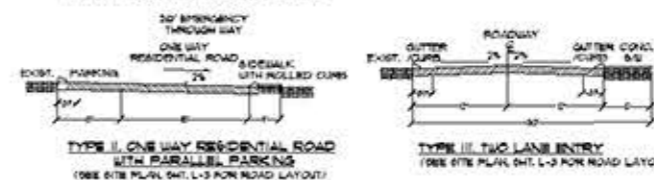
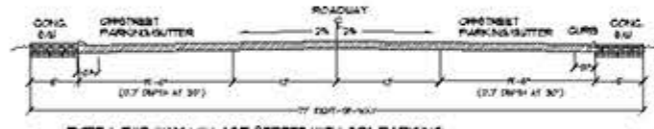
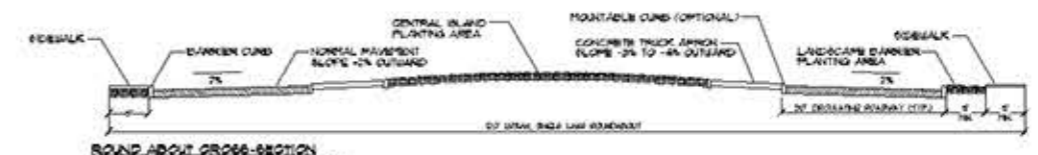


VILLAGE AT SOUTH AUBURN GRASS VALLEY, CA  
**GRADING PLAN**

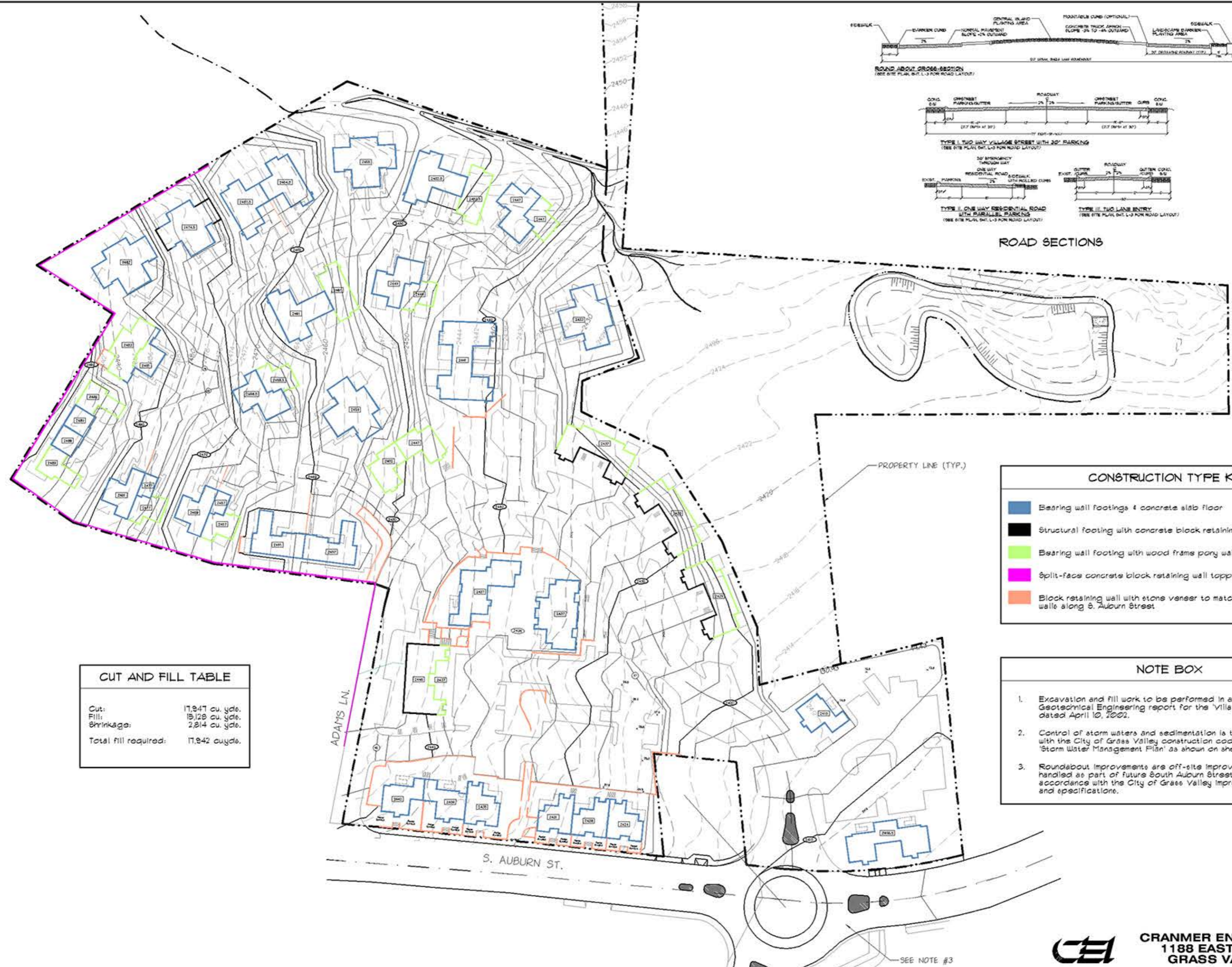
**bda**  
 Bisnett Design Associates  
 16046 Bear Court  
 Grass Valley, CA 95949  
 530.268.9711  
 530.268.1657 fax  
 bda@bda.net



Date: 05/28/03  
 Scale: 1"=40'-0"  
 Drawn: RJB  
 Job: 312  
 Sheet: C-1



ROAD SECTIONS



**CUT AND FILL TABLE**

Cut:	17,947 cu. yds.
Fill:	15,128 cu. yds.
Shrinkage:	2,814 cu. yds.
Total fill required:	17,942 cu. yds.

**CONSTRUCTION TYPE KEY**

<span style="color: blue;">■</span>	Bearing wall footings & concrete slab floor
<span style="color: black;">■</span>	Structural footing with concrete block retaining wall
<span style="color: green;">■</span>	Bearing wall footing with wood frame party wall
<span style="color: magenta;">■</span>	Split-face concrete block retaining wall topped with privacy fence
<span style="color: orange;">■</span>	Block retaining wall with stone veneer to match (s) stone walls along S. Auburn Street

- NOTE BOX**
- Excavation and fill work to be performed in accordance with the Geotechnical Engineering report for the 'Village at South Auburn' dated April 10, 2002.
  - Control of storm waters and sedimentation is to be in conformance with the City of Grass Valley construction code 11-3.06 and the 'Storm Water Management Plan' as shown on sheet C-4
  - Roundabout improvements are off-site improvements and are to be handled as part of future South Auburn Street improvements in accordance with the City of Grass Valley Improvement standards and specifications.



**CRANMER ENGINEERING, INC.**  
 1188 EAST MAIN STREET  
 GRASS VALLEY, CALIF.

SEE NOTE #3



# ZONING MAP CHANGE




## VILLAGE AT SOUTH AUBURN GRASS VALLEY, CA

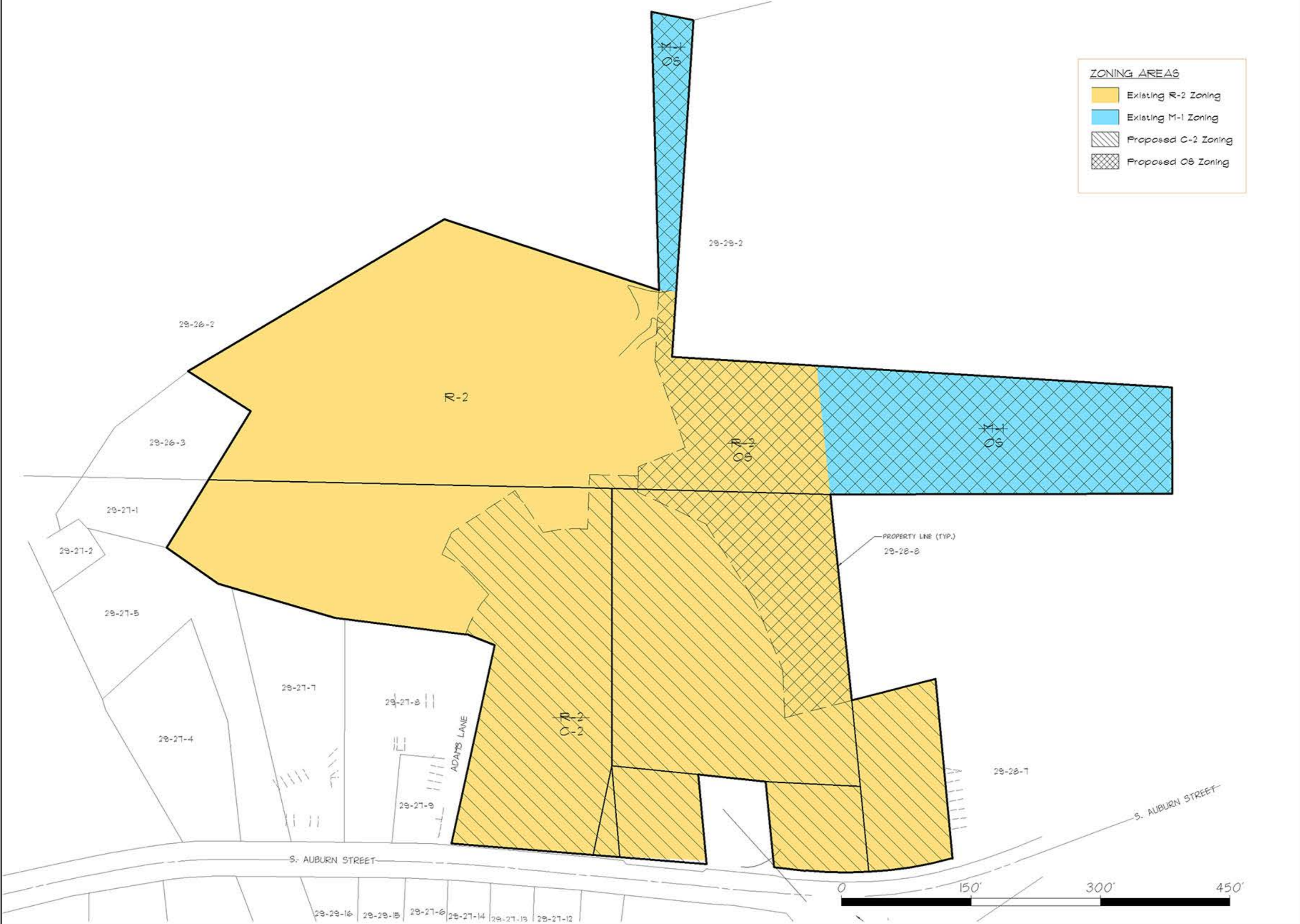
**bda**  
Bisnett  
Design  
Assoc.  
Landscape Architectural  
Environmental Planning  
Site Analysis  
Site Planning  
Urban Design  
& Architecture



Date 02.14.03  
Scale 1"=150'-0"  
Drawn RLH  
Job 312  
Sheet

**ZONING AREAS**

-  Existing R-2 Zoning
-  Existing M-1 Zoning
-  Proposed C-2 Zoning
-  Proposed OS Zoning





REVISIONS	BY
65/17/02	



**Wetland Delineation Map**  
 Consultant: Virginia Dains  
 Feb. 2002

**VILLAGE AT  
 SOUTH AUBURN  
 GRASS VALLEY, CA**



Date	12.04.01
Scale	1"=50'-0"
Drawn	SMM
Job	ELDER
Sheet	1
of	X

**WETLAND AREA**

- Herb wetland - .24 Acres
- Blackberry scrub - .41 Acres
- Arroyo willow scrub - .14 Acres
- Cottonwood - willow forest - .86 Acres

Total: 1.65 acres

**OTHER WATERS**

- Channel - 0.02 Acres

